

RESOLUTION NO. 2005-45

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF ELK GROVE
APPROVING A RESCISSION OF ZONING AGREEMENT, TENTATIVE
SUBDIVISION MAP AND DESIGN REVIEW FOR THE LAGUNA
POINTE PROJECT (EG-04-585) SUBJECT TO THE FINDINGS
AND MMRP/CONDITIONS OF APPROVAL**

WHEREAS, the Laguna Pointe Project included a Rezone, Rescission of Zoning Agreement, Tentative Subdivision Map and Design Review, represented by Jackson Properties (hereinafter referred to as Property Owner and Applicant) filed an application with the City of Elk Grove (hereinafter referred to as City) for Assessor's Parcel Number 116-0310-021, 116-0310-022, 116-0310-023 and 116-0310-024; and

WHEREAS, and a Mitigated Negative Declaration has been prepared and completed in accordance with the California Environmental Quality Act (CEQA); and

WHEREAS, the City Council is the appropriate authority to hear and take action on this project after a recommendation by the Planning Commission; and

WHEREAS, the Planning Commission considered the applicant's request at a public hearing on January 13, 2005 and recommended City Council approval of the project.

**NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF ELK GROVE
HEREBY RESOLVES AS FOLLOWS:**

1. Approve the Laguna Pointe project (EG-04-585) including a Rezone, Rescission of Zoning Agreement, Tentative Subdivision Map and Design Review based on the following findings and the attached design exhibits and Conditions of Approval included as Exhibits A and B respectively.

Findings

CEQA

Finding: The proposal will not have a significant adverse impact on the environment and a Negative Declaration has been prepared and completed in accordance with the California Environmental Quality Act (CEQA).

Evidence: An Initial Environmental Study/Mitigated Negative Declaration was prepared for the proposed project and have been developed that will reduce potential environmental impacts to less than significant levels. On the basis of the Mitigated Negative Declaration, comments received, and the whole record, there is no substantial evidence that the project will have a significant adverse impact on the environment.

General Plan

Findings: The project is consistent with the goals and policies of the Elk Grove General Plan.

Evidence: The General Plan identifies the site for Commercial/Office uses. The office buildings/uses help the City to reach a positive jobs-housing balance, the hotel will provide transit related services to travelers along State Highway 99. The retail and restaurant uses provide services to an area comprised of office development and core retail areas. The proposed project is consistent with the general plan designations for the property and is consistent with the goals and policies of the General Plan for commercial/office development with the City of Elk Grove.

Rezone

Finding: The proposed rezone is in the public interest. (Section 65358(a) of the Government Code and the Plan Administration Element of the Elk Grove General Plan).

Evidence: The Planning Commission has reviewed the proposed rezone, staff report, and has received public testimony at a duly noticed public hearing regarding the matter. The applicant's proposal is consistent with the allowed density ranges and uses in the Zoning Code, Elk Grove General Plan and General Plan Land Use Map. The proposed project is consistent with the Plan's objectives of orderly and systematic development and responds to opportunities and constraints in the local community area.

Rescission of Zoning Agreement

Finding: The proposed zone agreement rescission is in the public interest and will not under the circumstances of this particular case be detrimental to the health, safety, peace, morals, comfort, or general welfare of the persons residing or working in the neighborhood, or be detrimental or injurious to property and improvements in the neighborhood or to the general Welfare of the City. (§110-30 of the City of Elk Grove Zoning Code)

Evidence: The City has reviewed the proposed zone agreement rescission. The applicant's proposal is consistent with the land use designation in the General Plan Land Use Policy Map and the requirements within the zoning code. The development has been reviewed against the non-residential design guidelines and found to be consistent. The zoning agreement provides standards and setbacks that are inconsistent with the zoning code and EGCSO landscape standards. The design review guidelines and zoning code standards ensure that adjacent development will not be harmed by the office development.

Tentative Subdivision Map

Finding: Section 66474 of the California Subdivision Map Act requires a City to deny approval of a tentative map if it makes any of the following findings:

- a. That the proposed map is not consistent with applicable general and specific plans as specified in Section 65451.
- b. That the design or improvement of the proposed subdivision is not consistent with applicable general and specific plans.
- c. That the site is not physically suitable for the type of development.
- d. That the site is not physically suitable for the proposed density of development.
- e. That the design of the subdivision or the proposed improvements are likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.
- f. That the design of the subdivision or type of improvements is likely to cause serious public health problems.
- g. That the design of the subdivision or type of improvements will conflict with easements acquired by the public at large, for access through or use of, property within the proposed subdivision.

Evidence: The above Findings #a. through #g. do not apply to the proposed Tentative Subdivision Map.

- a. The proposed map is consistent with the Elk Grove General Plan and Rezone.
- b. The design of the improvements of the proposed commercial subdivision is consistent with the General Plan and design standards of the municipal code.
- c. The site is physically suitable for extension of office/commercial development.
- d. The site is appropriate for the specified density of office and commercial development as presented in the staff report.
- e. The Mitigated Negative Declaration prepared for the project determined that potential environmental impacts from the design of the subdivision or the proposed improvements will be mitigated to less than significant levels with implementation of the proposed Mitigation Measures and Conditions of Approval.
- f. The Mitigated Negative Declaration prepared for the Laguna Pointe project determined that no potential serious health problems were identified from the project.
- g. No conflict with easements acquired by the public at large, for access through or use of, property within the proposed subdivision, have been identified.

Design Review

Finding: The proposed project is consistent with the Citywide Design Guidelines.

Evidence: The Laguna Pointe project is consistent with the Citywide Design Guidelines. The site plan, building elevations, and landscape plan have been reviewed against the Citywide Design Guidelines for non-residential land uses, and it is concluded that the project's architecture and site planning meet all applicable design requirements. The

project is subject to conditions of approval that will ensure consistency with all standard requirements.

Finding: The proposed architecture, site design, and landscape are suitable for the purposes of the office and commercial buildings and the site and will enhance the character of the community.

Evidence: The proposed Laguna Pointe site plan, building elevations, and landscape plans provide all design elements required by the Citywide Design Guidelines, including consistent detailing of the architectural style, providing sufficient pedestrian connectivity, application of a consistent color palette throughout the project, and creation of outdoor public spaces. The project is subject to conditions of approval that will ensure consistency with all standard requirements.


Finding: The architecture, including the character, scale and quality of the design, relationship with the site and other buildings, building materials, colors, screening of exterior appurtenances, exterior lighting and signing and similar elements establishes a clear design concept and is compatible with the character of buildings on adjoining and nearby properties.

Evidence: The proposed Laguna Pointe project will provide all required design elements that would establish an attractive office/commercial project and will be compatible with adjoining and nearby properties. The project is subject to conditions of approval that will ensure consistency with all standard requirements.

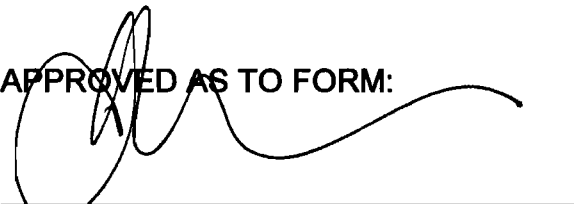
PASSED AND ADOPTED by the City Council of the City of Elk Grove on this 16th day of February 2005.


DANIEL BRIGGS, MAYOR of the
CITY OF ELK GROVE

ATTEST:


PEGGY E. JACKSON, CITY CLERK

APPROVED AS TO FORM:


ANTHONY B. MANZANETTI,
CITY ATTORNEY

LAGUNA POINTE

1	Site Vignette 1 Retail
2	Site Vignette 2 Retail
3	Site Vignette 3 Office
4	Rendered Overall Site Plan
5	Overall Site Plan
6	Groundcover Plan Overall Site
7	Tree Plan Overall Site
8	Landscape Key - Shading Calcs
9	Lighting Site Plan
10	Retail Building 1 Floor Plan
11	Retail Building 1 Exterior Elevations
12	Retail Building 2 Floor Plan
13	Retail Building 2 Exterior Elevations
14	Retail Building 3 Floor Plan
15	Retail Building 3 Exterior Elevations
16	Office Building 1 Floor Plan
17	Office Building 1 Exterior Elevations
18	Office Building 2 Floor Plan
19	Office Building 2 Exterior Elevations
20	Office Building 3 Floor Plan
21	Office Building 3 Exterior Elevations
22	Site Lighting and Amenities
23	Exterior Building Colors

DREYFUSS BLACKFORD
ARCHITECTS

DONALD JOSEPH INC.
Architecture
Interior Design

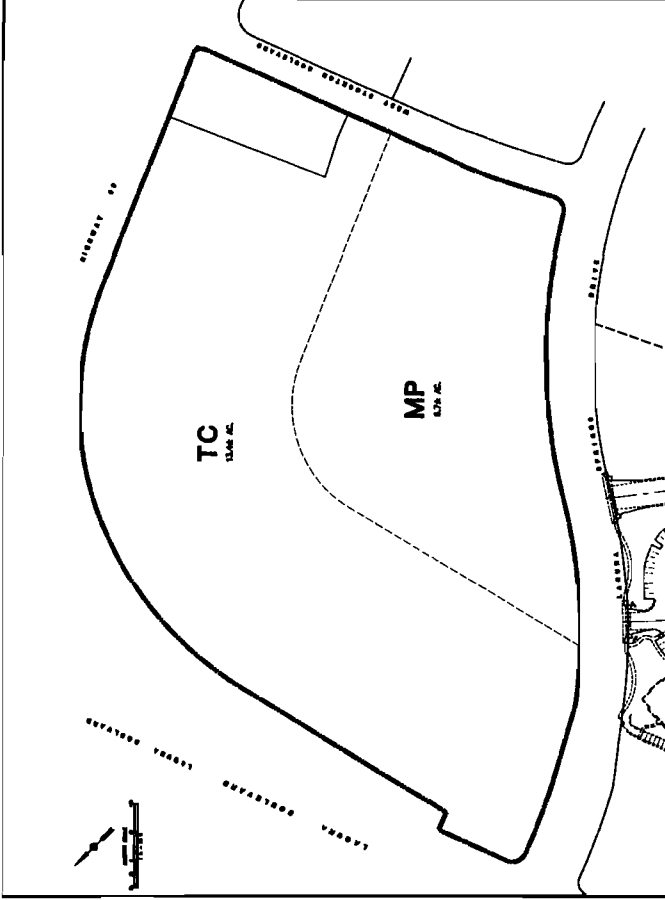
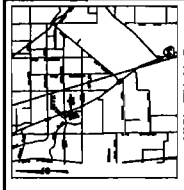
DE KLEER +
ASSOCIATES
INCORPORATED

Garth Ruttnier Landscape Architect

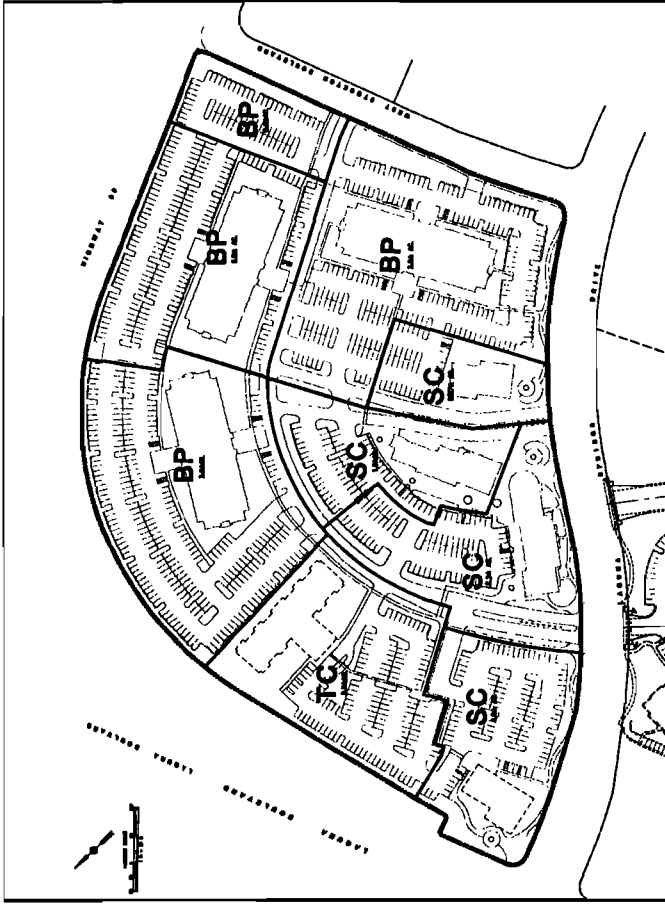
VASKO
Electric Inc.

JACKSON
PROPERTIES INC.

Exhibit A



EXISTING ZONING



PROPOSED ZONING

OWNER / DEVELOPER:
MORTON & PITALO, INC.
1718 TROJAN BLVD., SUITE 100, TROJAN, CA 92680
PHONE: (949) 271-1118
FAX: (949) 271-1118
WWW.MORTONANDPITALO.COM

PROJECT:
LAGUNA POINTE
1718 TROJAN BLVD., SUITE 100, TROJAN, CA 92680
ASSASSIN'S PARADE NUMBER:
114-26114-001-00000000

EXISTING USE:
Vacant

PROPOSED USE:
OFFICE / COMMERCIAL

EXISTING ZONING:
MEDIUM DENSITY RESIDENTIAL (MP)

PROPOSED ZONING:
BUSINESS PROFESSIONAL (BP)

ACREAGE:
20.07 ACRES (NET)

NUMBER OF LOTS:
10

NUMBER OF UNITS:
10

CITY OF LAGUNA:
CITY OF LAGUNA, CALIFORNIA

WATER SUPPLY:
AS SHOWN WITH CONNECTION TO
LAGUNA COUNTY WATER TREATMENT PLANT

FIRE PROTECTION:
LAGUNA FIRE DEPARTMENT

ELECTRIC SERVICE:
SCE

GAS SUPPLY:
SCE

P. E. & E.:
MORTON & PITALO, INC.

PLANNING ORGANIZATION:
LAGUNA PLANNING COMMISSION

SCHOOL DISTRICT:
LAGUNA UNIFIED SCHOOL DISTRICT

PHONE SERVICE:
SCE

PROPOSED IMPROVEMENTS:
CITY OF LAGUNA, CALIFORNIA



mp

MORTON & PITALO, INC.
CIVIL ENGINEERING • PLANNING • SURVEYING
1718 TROJAN BLVD., SUITE 100, TROJAN, CA 92680
PHONE: (949) 271-1118
WWW.MORTONANDPITALO.COM

LAGUNA POINTE

CITY OF LAGUNA

DATE: JAN 2008
SHEET: 1
OF: 1

CALIFORNIA
JOB NO: 15116102

NO.	DESCRIPTION	APPROVED	DATE	SCALE	REVISION

DREYFUSS ABLACKFORD

ARCHITECTS

DONALD JOSEPH INC.

An Interior
Architecture Design



LAGUNA
POINTE

JACKSON
PROPERTY INC.



3 December 2004

Site Vignette 1
Retail

Sheet **1** of 23



LAGUNA POINTE

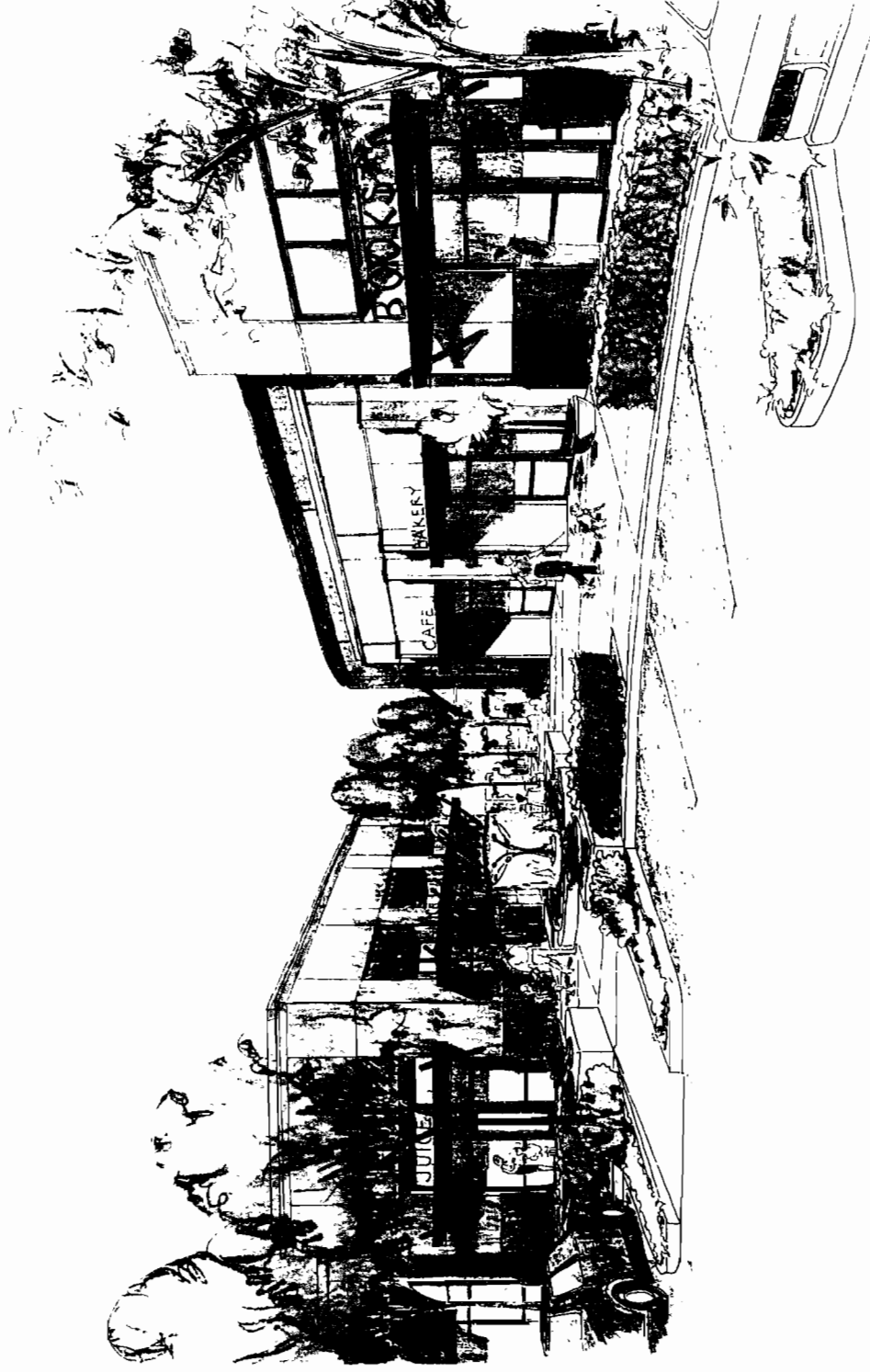
JACKSON
ARCHITECTS

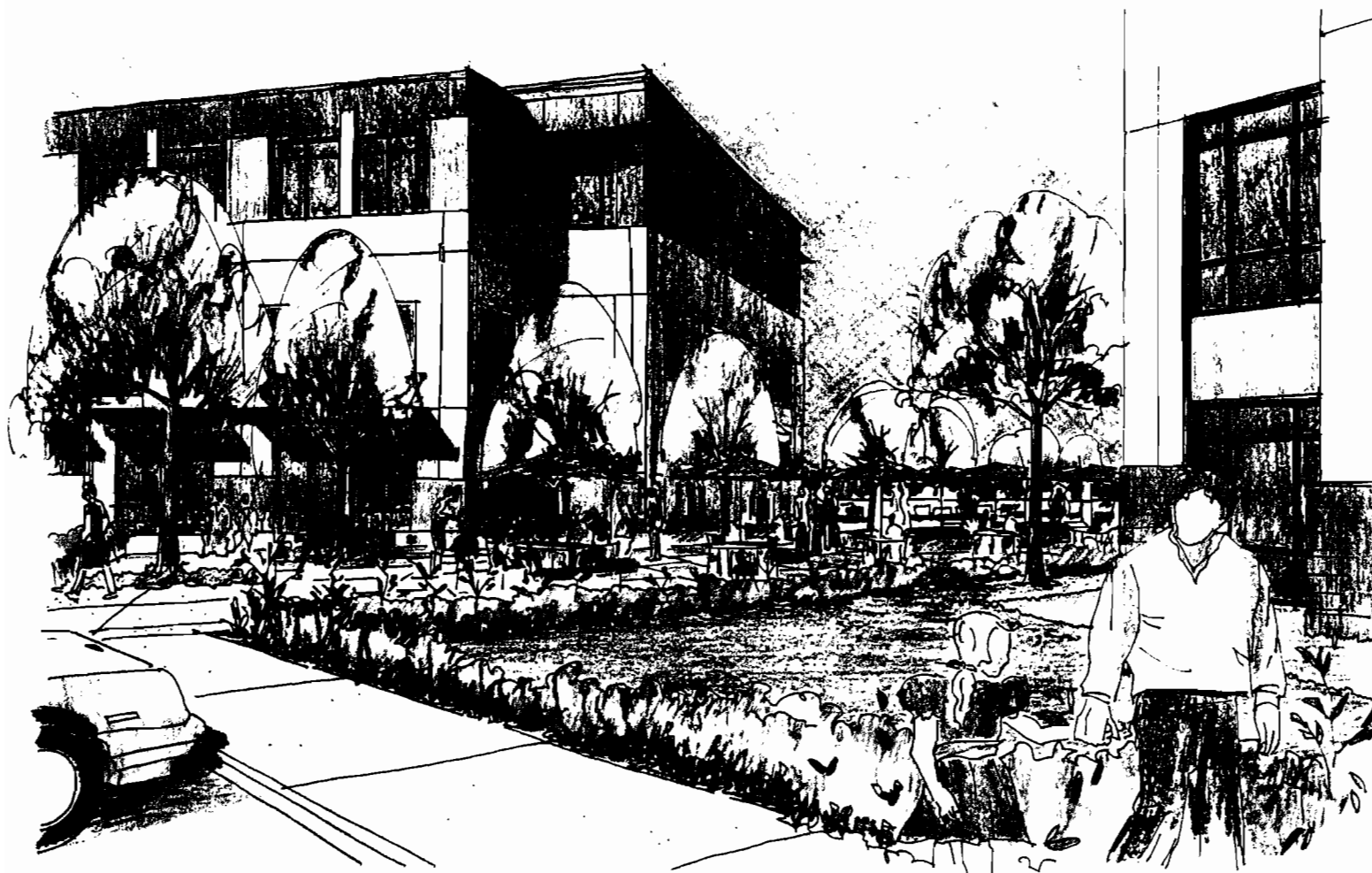


Key

3 December 2004

Site Vignette 2 Retail





DREYFUSS & BLACKFORD

ARCHITECTS

DONALD JOSEPH INC.

Architecture
Interior Design



LAGUNA
POINTE

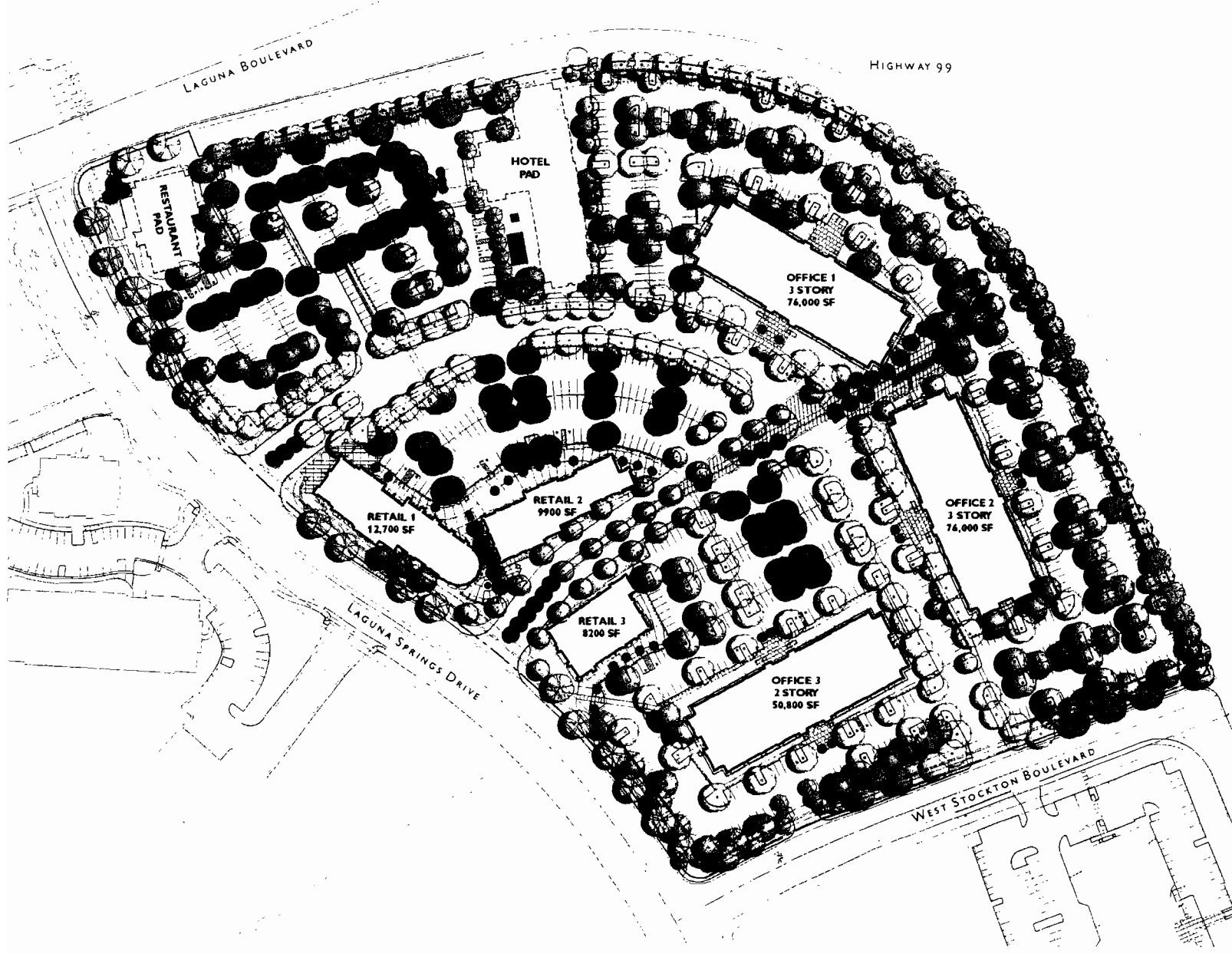
JACKSON
PROPERTIES, INC.

Key

3 December 2004

Site Vignette 3
Office

Sheet 3 of 23



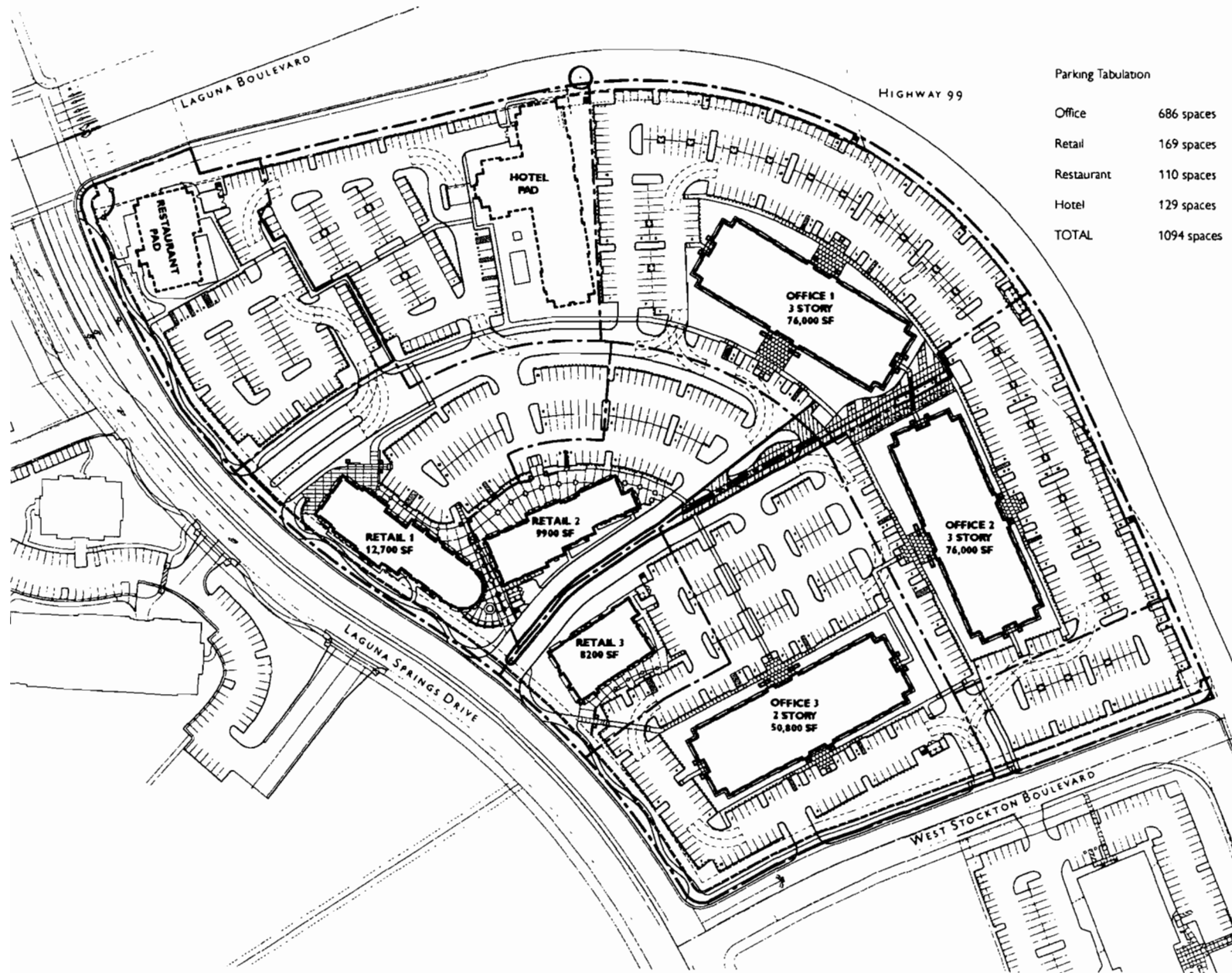
LAGUNA POINTE



0 120'

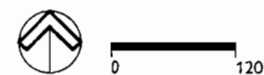
1 December 2004

Rendered Overall Site Plan



Parking Tabulation

Office	686 spaces
Retail	169 spaces
Restaurant	110 spaces
Hotel	129 spaces
TOTAL	1094 spaces



1 December 2004

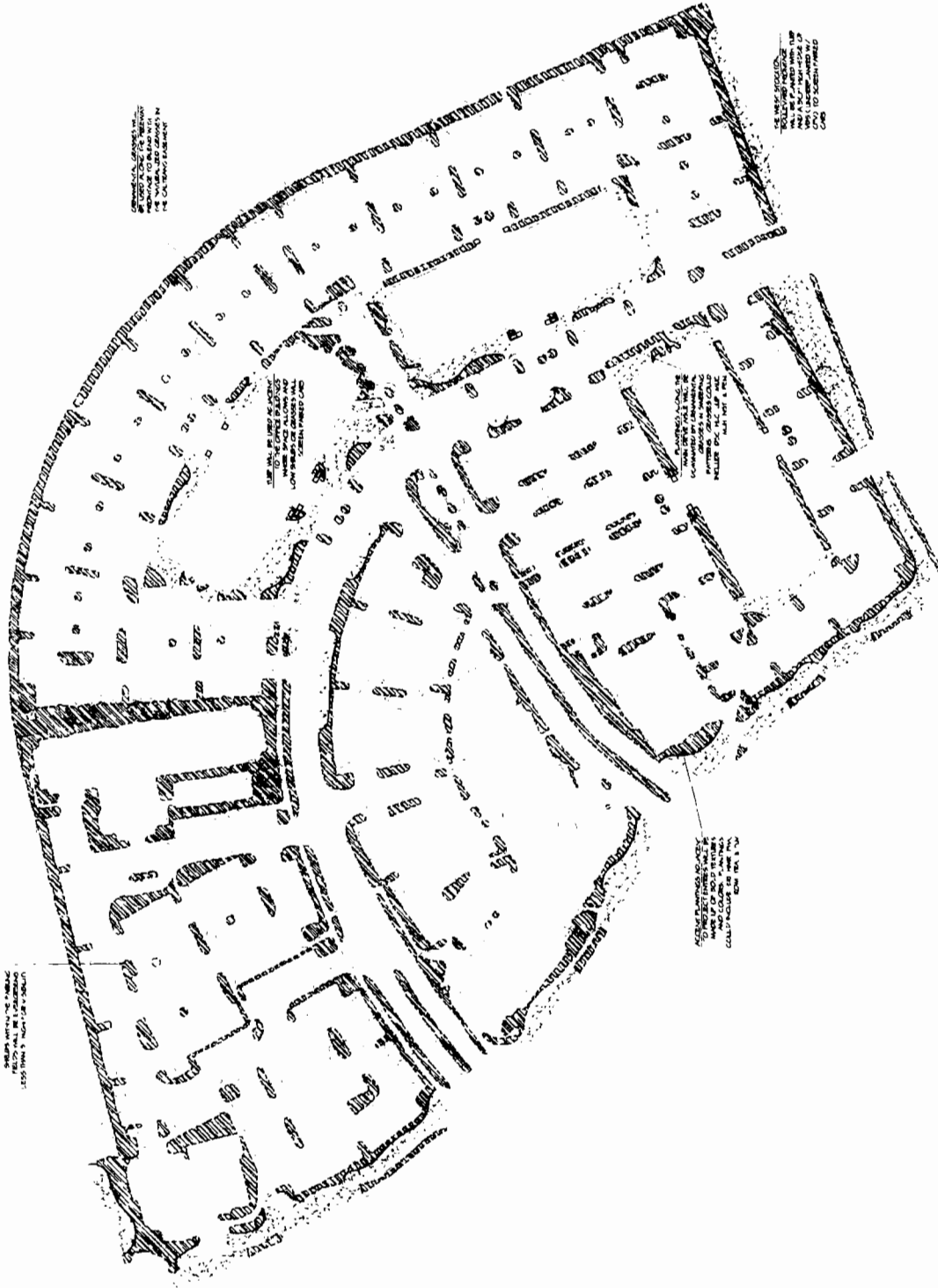
Overall Site Plan



3 December 2004



Groundcover Plan Overall Site

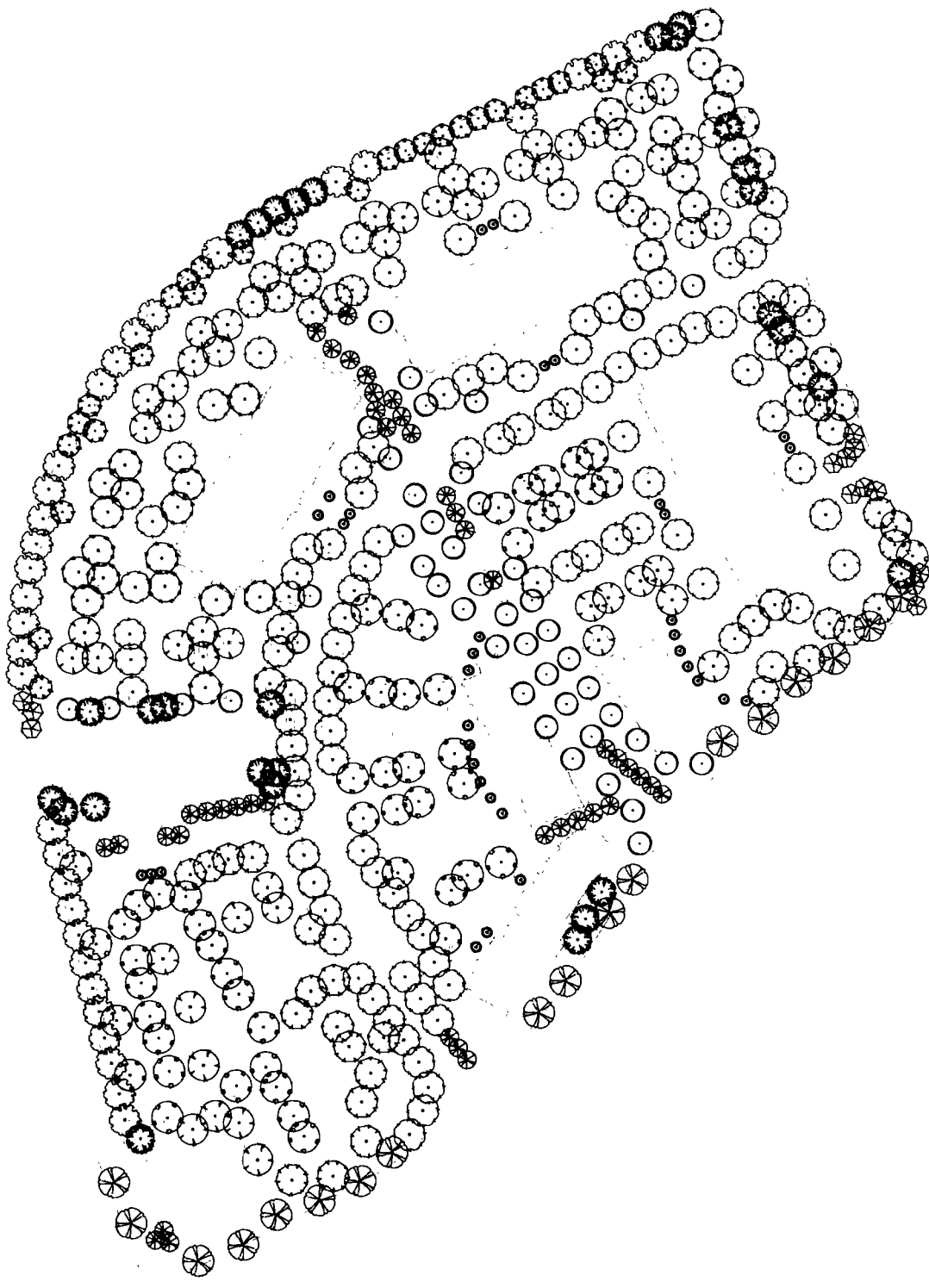


LAGUNA POINTE

JACKSON
PROPERTIES, INC.

0 120'
3 December 2004

Tree Plan Overall Site

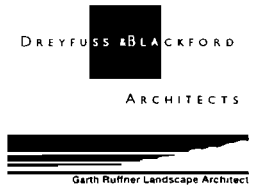


**PARKING LOT
SHADE CALCULATIONS:**

TREE TYPE	AREA/ FULL	QUANTITY				SUBTOTAL	TOTAL
		FULL	3/4	1/2	1/4		
20' DIA. TREES							
LAGERSTROEMIA INDICA	514 S.F.	0	2	0	0	471 S.F.	
						20' TOTAL	471 S.F.
25' DIA. TREES							
CARPINUS BETULUS	490 S.F.	7	2	10	4	7105 S.F.	
						25' TOTAL	7105 S.F.
50' DIA. TREES							
PINUS ELDPARCA	706 S.F.	0	0	3	4	1765 S.F.	
						50' TOTAL	1765 S.F.
55' DIA. TREES							
LIRIODENDRON T	962 S.F.	0	0	0	1	241 S.F.	
PISTACHIA CHINENSIS	962 S.F.	14	1	17	2	22848 S.F.	
PLATANUS ACERIFOLIA	962 S.F.	23	7	19	0	41126 S.F.	
QUERCUS LEX	962 S.F.	11	3	13	3	23929 S.F.	
QUERCUS LOBATA	962 S.F.	1	0	21	10	13468 S.F.	
ULMUS PARVIFOLIA	962 S.F.	41	6	5	0	46176 S.F.	
ZELKOVA SERRATA	962 S.F.	24	6	41	13	30265 S.F.	
						55' TOTAL	197451 S.F.
						PARKING AREA	335017 S.F.
						SHADE REQUIRED 50%	167508 S.F.
						SHADE PROVIDED 62%	206792 S.F.

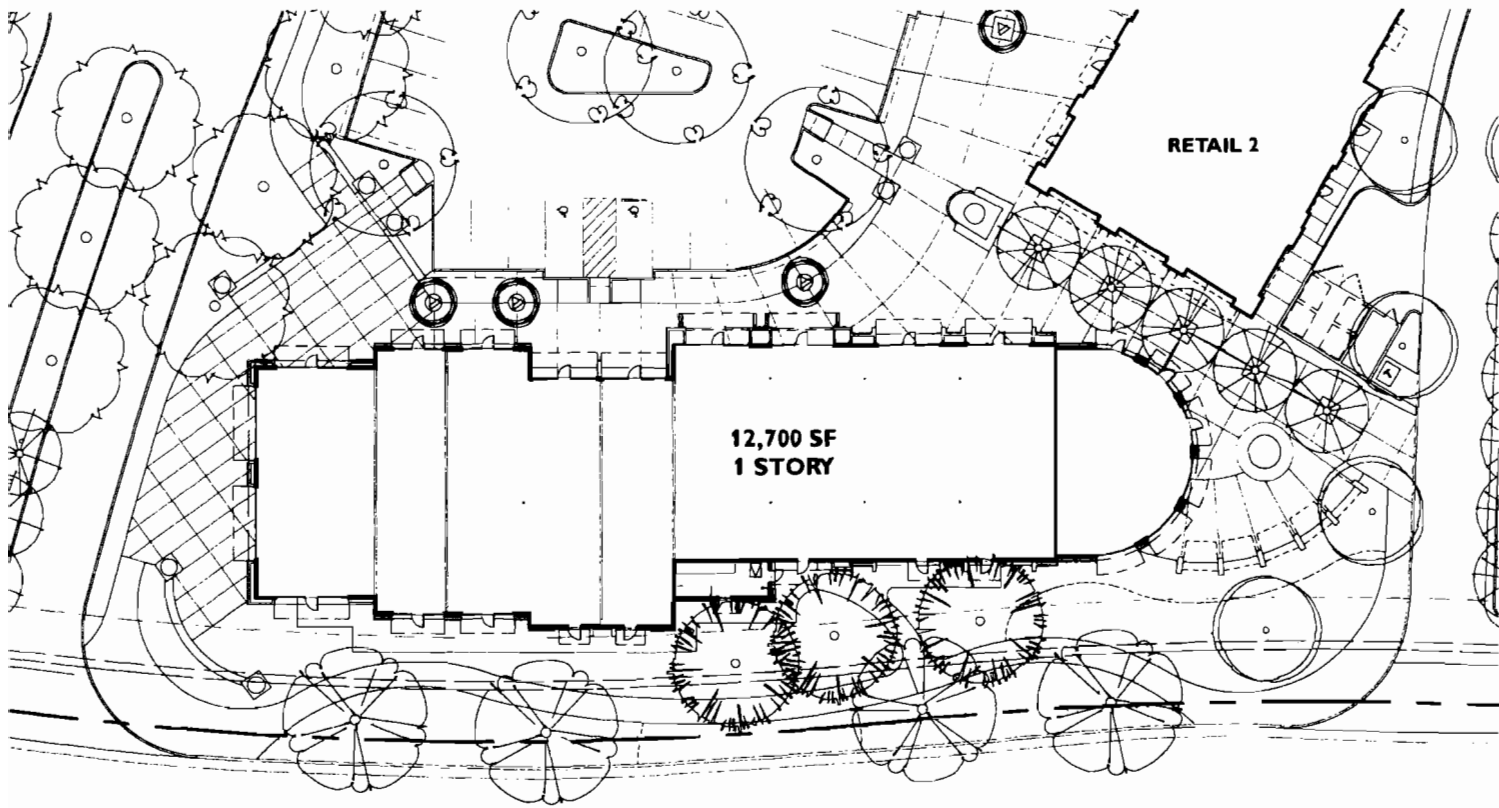
PLANT LIST & LEGEND

SYMBOL	BOTANIC NAME / COMMON NAME	SIZE	WATER USE
	CARPINUS BETULUS / EUROPEAN HORNBREAM	15 GALLON	MEDIUM
	CITRUS X "SEVILLE" / SOUR ORANGE	24" BOX	MEDIUM
	LAGERSTROEMIA X. "NATCHEZ" / GRAPE MYRTLE	15 GALLON	LOW
	LAGERSTROEMIA X. "ZUNI" / DWF GRAPE MYRTLE (STANDARD)	15 GALLON	LOW
	LIRIODENDRON TULIPIFERA / TULIP TREE	15 GALLON	MEDIUM
	OLEA EUROPEA "WILSONII" / FRUITLESS OLIVE	15 GALLON	LOW
	PINUS ELDPARCA / AFGHAN PINE	15 GALLON	LOW
	PISTACHIA CHINENSIS "KEITH DAVIES" / CHINESE PISTACHE	15 GALLON	LOW
	PLATANUS A. "BLOODGOOD" / LONDON PLANETREE	15 GALLON	MEDIUM
	QUERCUS LEX / HOLLY OAK	15 GALLON	LOW
	QUERCUS LOBATA / VALLEY OAK	15 GALLON	LOW
	ULMUS PARVIFOLIA "DRAKE" / CHINESE ELM	15 GALLON	LOW
	ZELKOVA SERRATA "GREEN VASE" / SAWLEAF ZELKOVA	15 GALLON	MEDIUM
SHRUB & GROUND COVER AREA			
	ARCTOSTAPHYLOS X. "EMERALD CARPET" / DWF. MANZANITA	1 GALLON	LOW
	CLX CALAMAGROSTIS X "STRICTA" / FEATHER REED GRASS	1 GALLON	LOW
	CPV COPROSMA P "VERDE VISTA" / COPROSMA	1 GALLON	LOW
	DIB DIETS BICOLOR	1 GALLON	LOW
	DSC DESCHAMPSIA CESPITOSA / TUFTED HAIR GRASS	LINER	LOW
	ERI ERIGERON KARVINSKIANUS / FLEABANE	1 GALLON	LOW
	HLC HELICTOTRICHON SEMPERVIRENS / BLUE OAT GRASS	1 GALLON	LOW
	HMR HEMEROCALLIS HYBRID (RED) / DAYLILY	1 GALLON	MEDIUM
	JUP JUNCUS PATENS "CARMAN GRAY" / GRAY RUSH	1 GALLON	MEDIUM
	MSS MISCANTHUS SINENSIS "YAKU-JIMA" / BULLALIA	1 GALLON	LOW
	MUC MUHLENBERGIA CAPILLARIS / PURPLE MILLY GRASS	1 GALLON	LOW
	MUH MUHLENBERGIA RIGENS / DEER GRASS	1 GALLON	LOW
	NST NASSELLA TENUISSIMA / MEXICAN FEATHER GRASS	LINER	LOW
	PEN PENSETUM S. "CUPREUM" / RED FOUNTAIN GRASS	1 GALLON	LOW
	PHA PHORMIUM TENAX "ATROPURPUREUM" / PURPLE FLAX	5 GALLON	LOW
	ROM ROSA X. "MEPPRESTON" / RUBY MIDLAND ROSE	1 GALLON	MEDIUM
	RFB RHAMPHOLEPIS L. "BALLERNA" / DWF. INDIAN HAWTHORN	5 GALLON	LOW
	TRA TRACHELOSPERNUM ASIATICUM / ASIAN JASMINE	1 GALLON	MEDIUM
	TUV TULBAGHIA VIOLACEA / SOCIETY GARLIC	1 GALLON	MEDIUM
	VBS VIBURNUM T. "SPRING BOUQUET" / COMPACT LAURUSTINUS	5 GALLON	LOW
	SODDED TURF AREA		
	6" CONCRETE MOW STRIP		



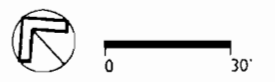
3 December 2004

**Landscape Key
Shading Calcs**



LAGUNA
POINTE

JACKSON
LANDSCAPE ARCHITECTS

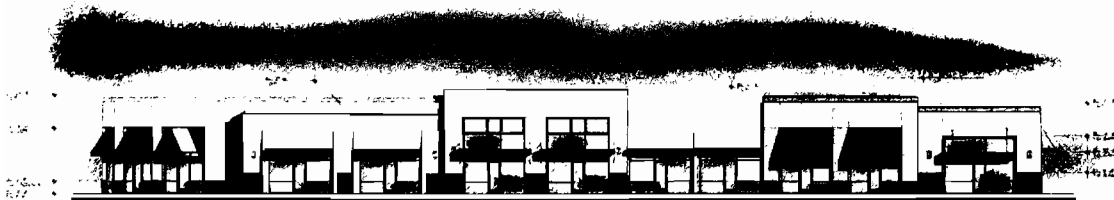


3 December 2004

**Retail Building 1
Floor Plan**



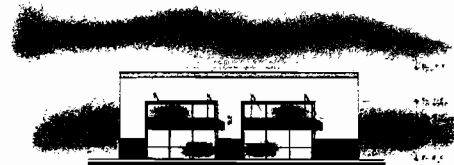
West Elevation
1/25/04



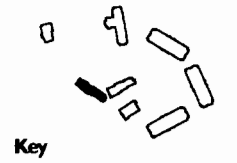
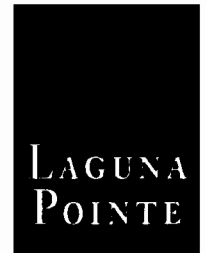
East Elevation
1/25/04



South Elevation
1/25/04



North Elevation
1/25/04

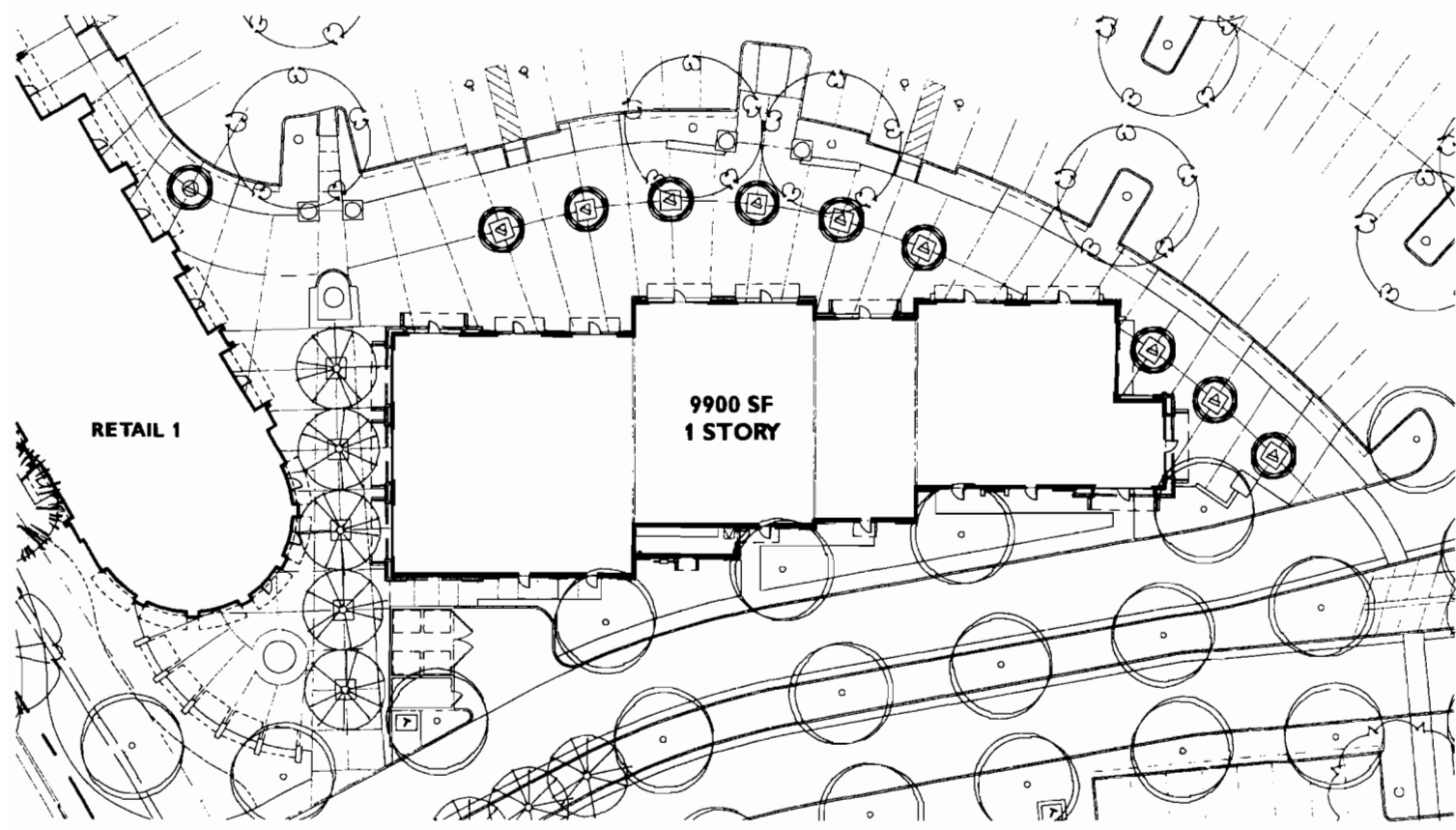


Key



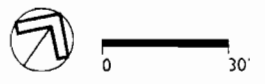
3 December 2004

**Retail Building 1
Exterior Elevations**



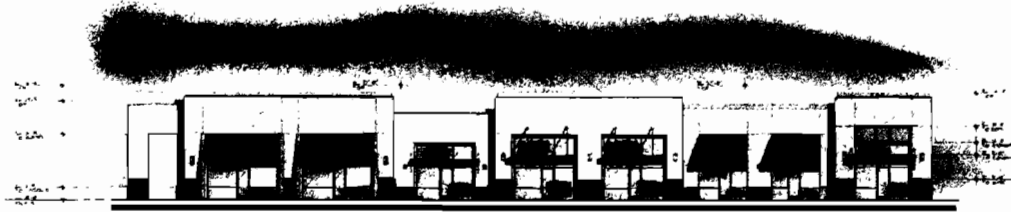
LAGUNA
POINTE

JACKSON
PROPERTY GROUP

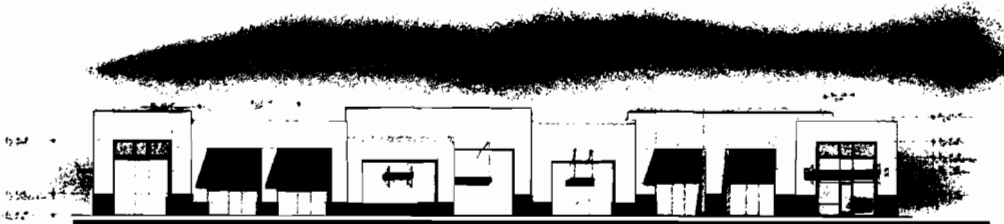


3 December 2004

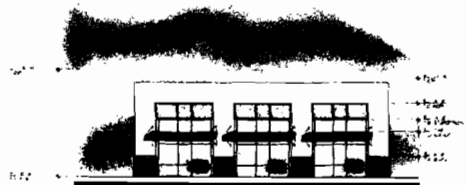
Retail Building 2
Floor Plan



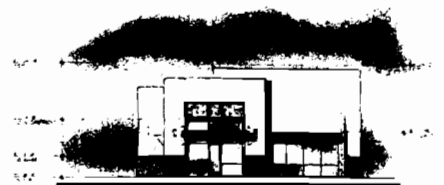
North Elevation
Laguna Pointe, CA



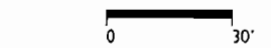
South Elevation
Laguna Pointe, CA



West Elevation
Laguna Pointe, CA

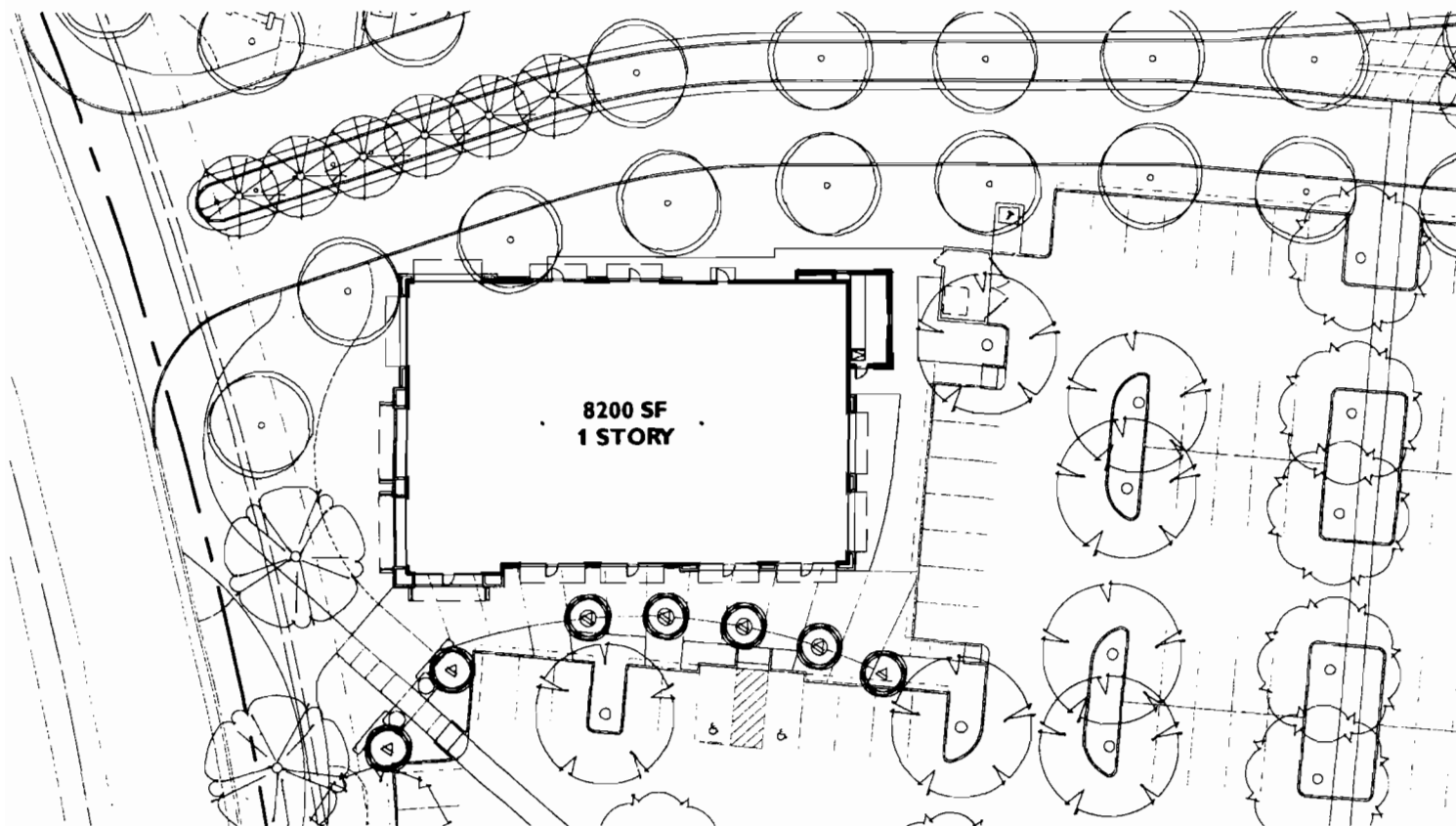


East Elevation
Laguna Pointe, CA

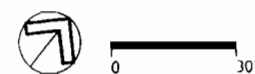


3 December 2004

Retail Building 2 Exterior Elevations

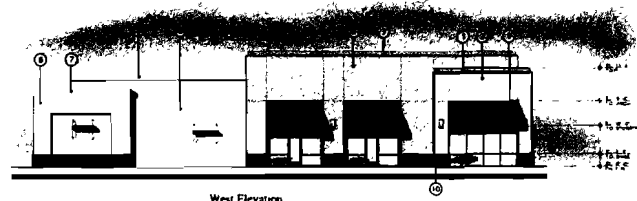
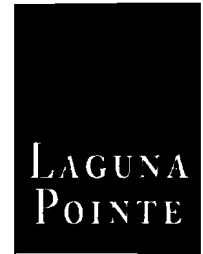


Key

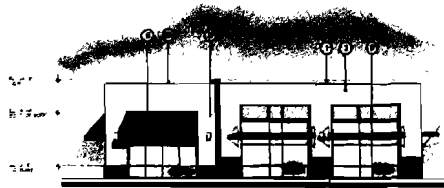


3 December 2004

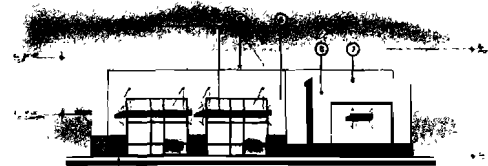
**Retail Building 3
Floor Plan**



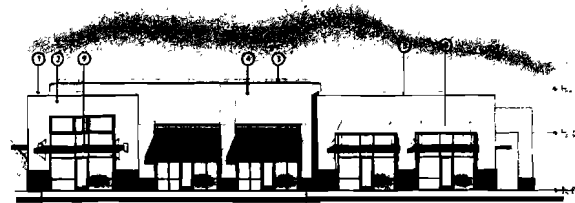
West Elevation
Laguna Pointe Retail 3



North Elevation
Laguna Pointe Retail 3



South Elevation
Laguna Pointe Retail 3



East Elevation
Laguna Pointe Retail 3

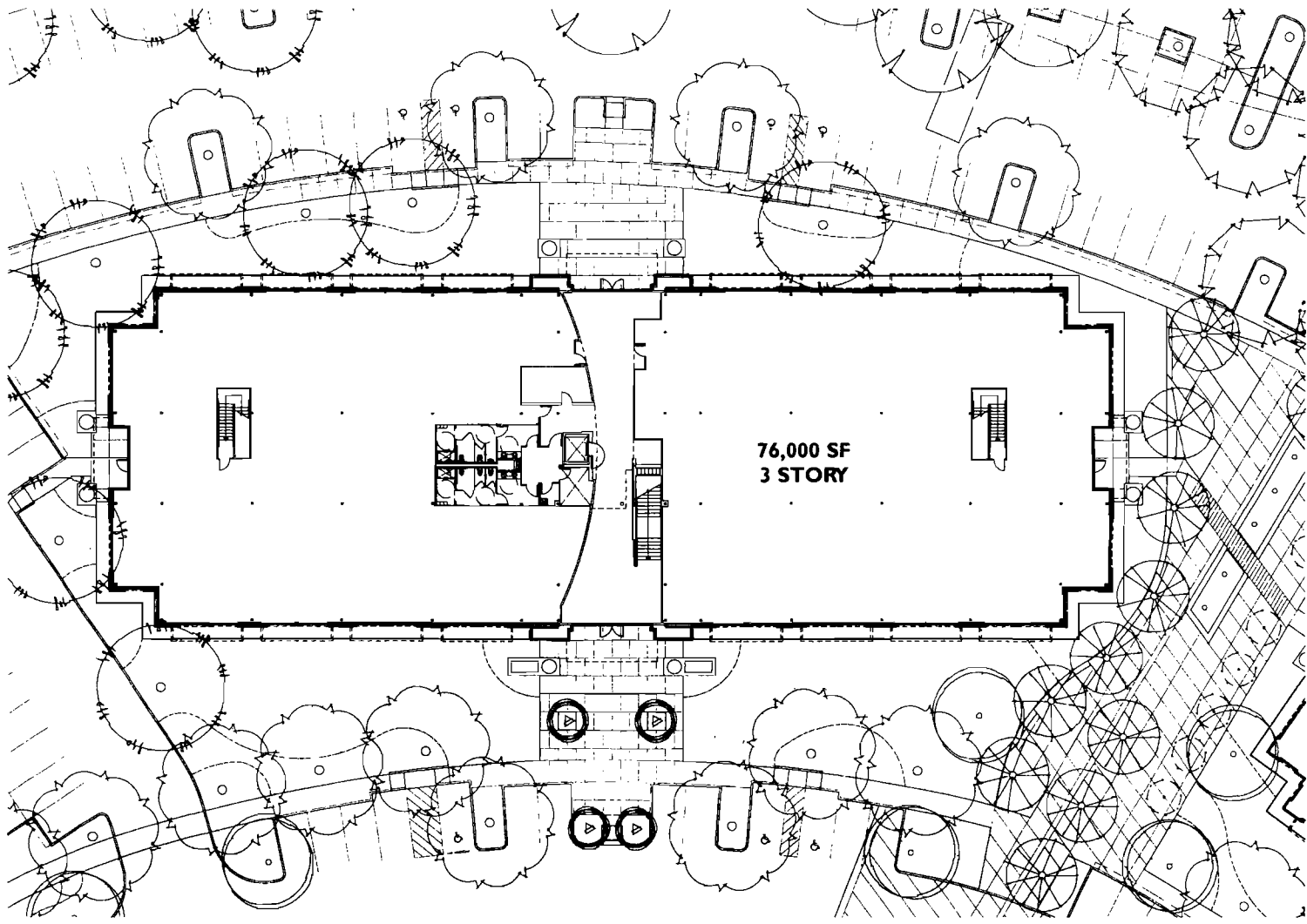


Key



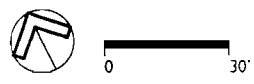
3 December 2004

**Retail Building 3
Exterior Elevations**



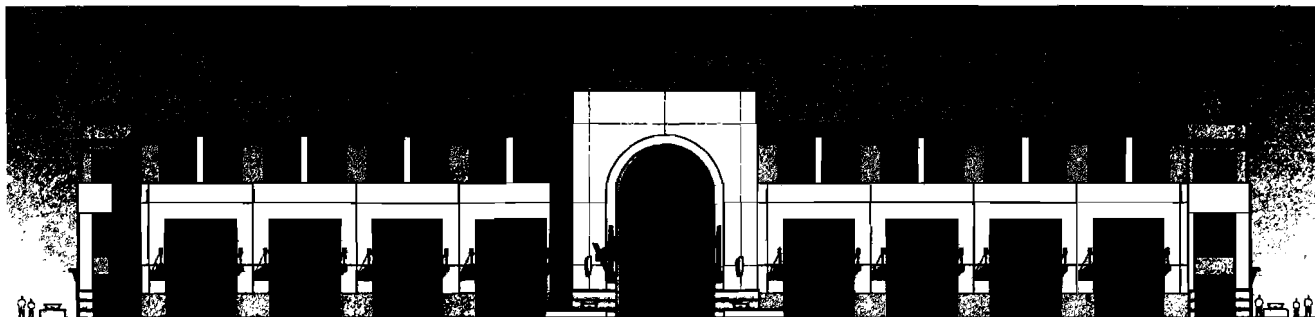
**LAGUNA
POINTE**

JACKSON
ARCHITECTS P.C.

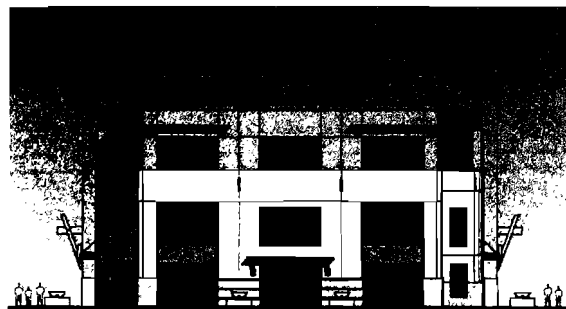


3 December 2004

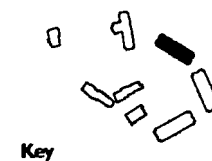
**Office Building 1
Floor Plan**



North/South Elevation

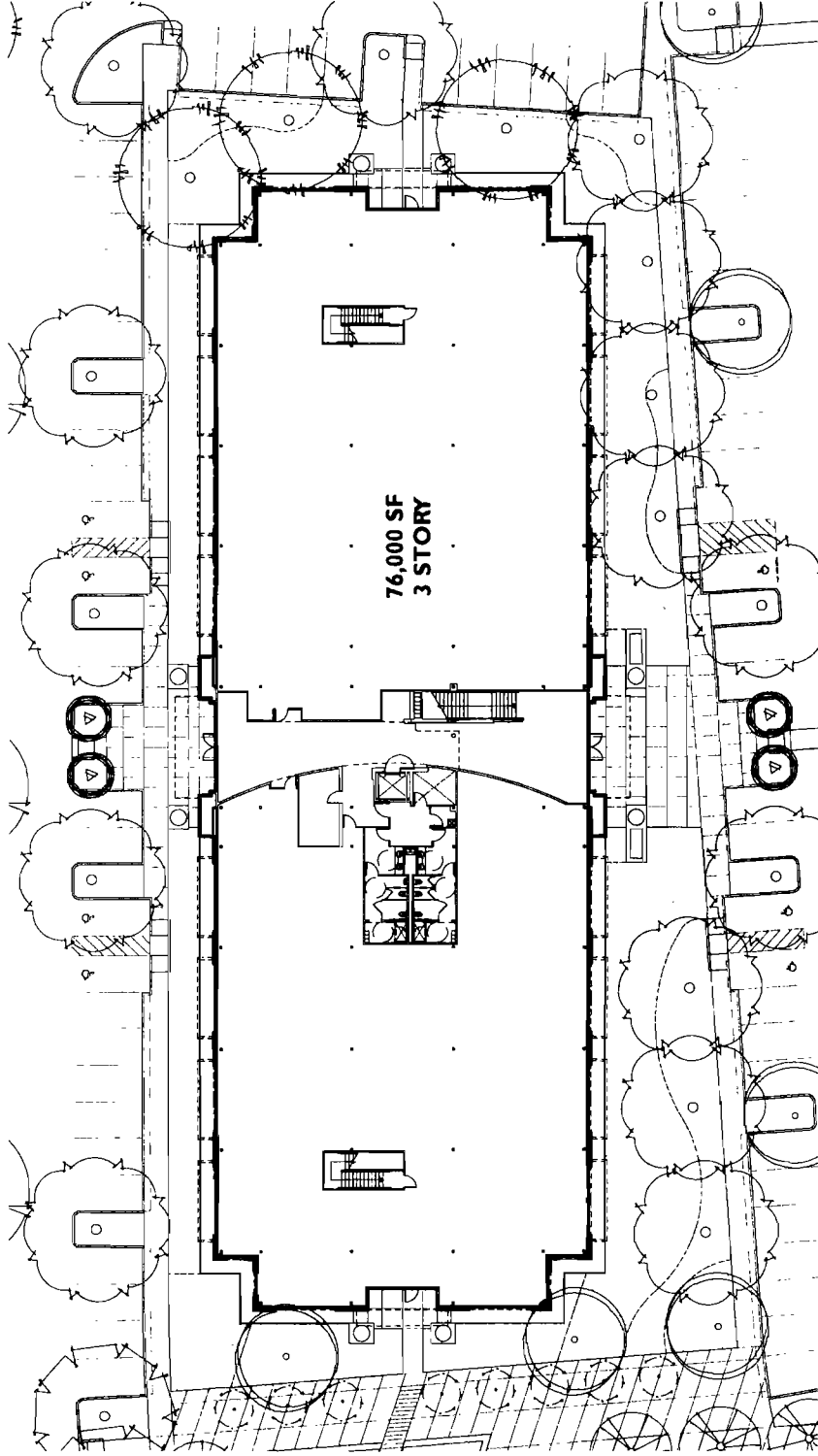
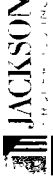


East/West Elevation

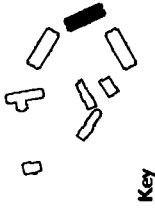


3 December 2004

**Office Building 1
Exterior Elevations**



76,000 SF
3 STORY

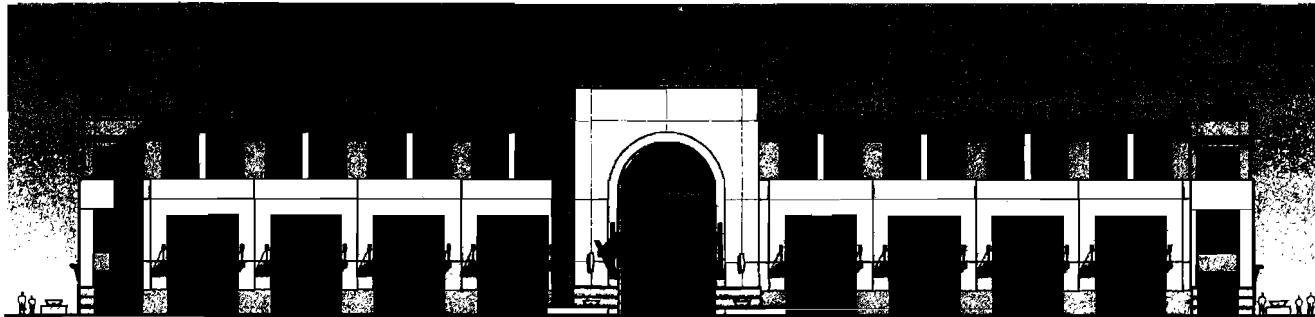


Key

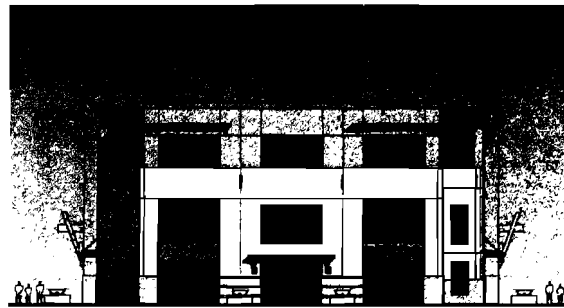


3 December 2004

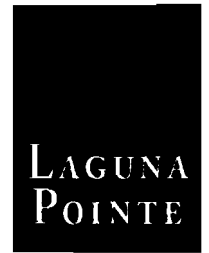
**Office Building 2
Floor Plan**



East/West Elevation



North/South Elevation

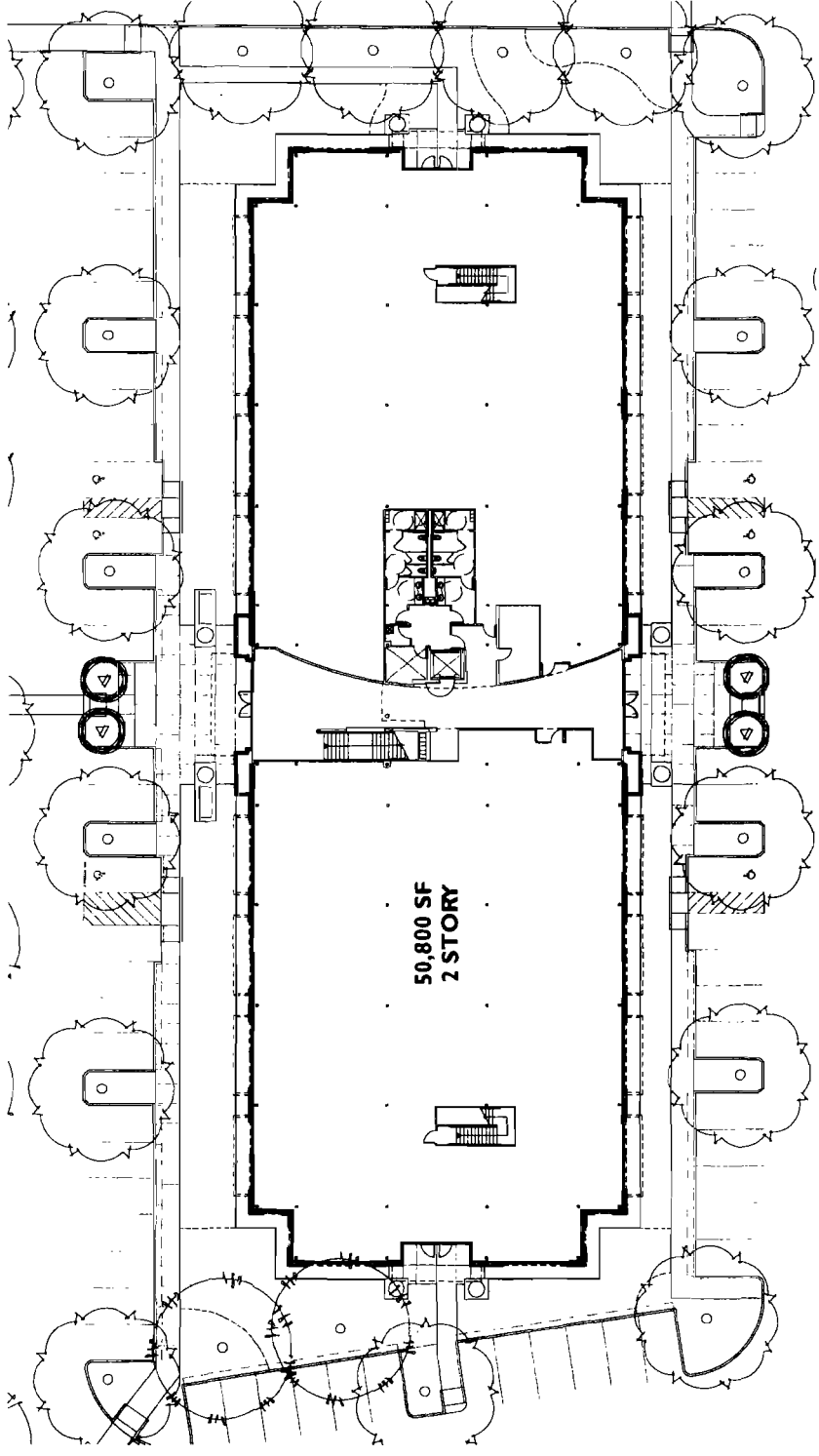


Key



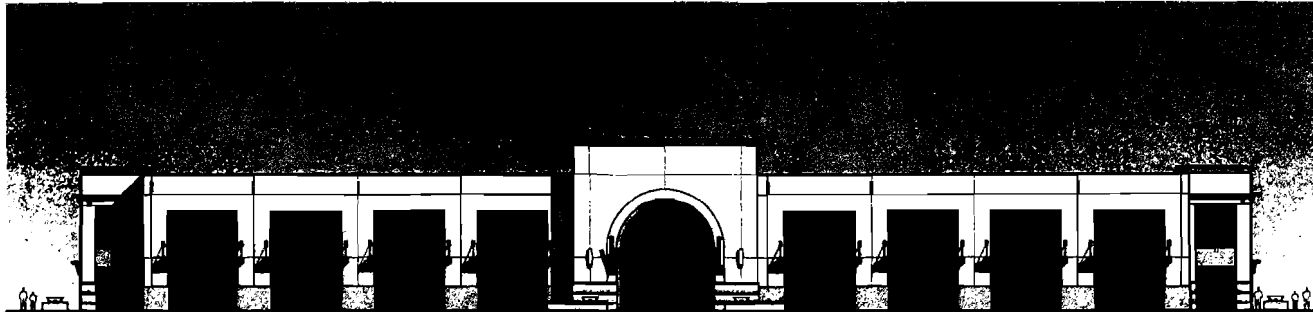
3 December 2004

**Office Building 2
Exterior Elevations**

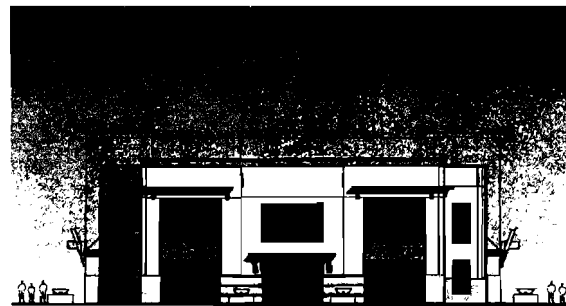


3 December 2004

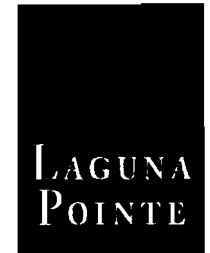
Office Building 3
Floor Plan



North/South Elevation

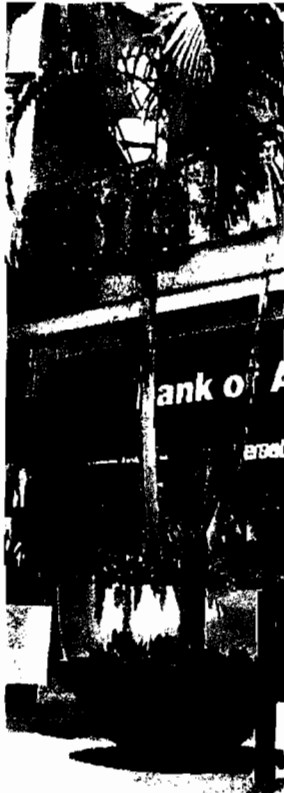


East/West Elevation



3 December 2004

**Office Building 3
Exterior Elevations**



Planter Pots in Plaza Spaces



Parking Lot Lighting



Pedestrian Lighting



Planter Pots on Platforms



Light Fixture on Buildings

3 December 2004

Site Lighting
and Amenities



Highland Grass KM3974-3

Highland Grass KM3974-3

Zanzibar KM3932-2

Westover Hills KM3973-2

Westover Hills KM3973-2

Travertine Trail KM3938-1

Travertine Trail KM3938-1

Tumble Tan KM4014-3

Balsam Brown KM3997-2

Washed Khaki KM4012-2



Roman Chariot AC258-5

Bernard Beach KM4013-2



Roman Chariot AC258-5

Skin light KM3996-1



Creme de Caramel KM3943-3

Office Building Colors

Retail Building Colors

3 December 2004

**Exterior
Building Colors**

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
<p>1. The development approved by this action is for a Rezone, Zoning Agreement Rescission, Tentative Subdivision Map, and Design Review illustrated in the project plans in the February 16, 2005 City Council staff report and exhibits.</p> <p>Deviations from the approved plans shall be reviewed by the City for substantial compliance and may require amendment by the appropriate hearing body.</p>	On-Going	Planning	
<p>2. This action does not relieve the applicant of the obligation to comply with all ordinances, statutes, regulations, and procedures.</p>	On-Going	Planning	
<p>3. The Applicant shall hold harmless the City, its Council Members, its Planning Commission, officers, agents, employees, and representatives from liability for any award, damages, costs and fees incurred by the City and/or awarded to any plaintiff in an action challenging the validity of this permit or any environmental or other documentation related to approval of this permit. Applicant further agrees to provide a defense for the City in any such action.</p>	On-Going	Planning	
<p>4. If there are any discrepancies between the approved subdivision map/site plan and the conditions of approval, the conditions of approval shall supercede the approved site plan.</p>	On-Going	Public Works	
<p>5. All improvements shall be dedicated, designed and constructed in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.</p>	On-Going	Public Works	
<p>6. Pay all appropriate development fees charged by the City and other Special Districts providing services to the site.</p>	On-Going	Public Works	
<p>7. Construct the stormwater treatment facilities prior to</p>	On-going	Public Works	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
the drainage entering the public drainage system to the satisfaction of the City's Public Works and provide an agreement for the maintenance of such treatment facility.			
8. Drainage improvement plans shall be constructed as approved by the City of Elk Grove. Drainage easements, pursuant to the Sacramento County Floodplain Management Ordinance, shall be dedicated and provided on the Final Subdivision Map, or dedicated by grant deed prior to the issuance of building permits. Drainage facilities shall be installed prior to the issuance of building permits pursuant to the City of Elk Grove Floodplain Management Ordinance, Sacramento County Water Agency Code, and Elk Grove Improvement Standards, including any fee required by the Sacramento County Water Agency Code.	On-Going	Public Works	
9. Driveway access limitations shall be as follows: <ul style="list-style-type: none"> • northerly most Laguna Springs driveway: left-in, right-in, right-out • southerly most Laguna Springs driveway: full access • westerly most West Stockton driveway: right-in, right-out • easterly most West Stockton driveway: full access 	On-Going	Public Works	
10. All traffic calming devices and locations must be approved by Public Works prior to installation.	On-Going	Public Works	
11. In accordance with the Subdivision Map Act, no land lease or sale of this pad may occur until such time as the under laying tentative map approval has been effected and a final map recorded.	On-Going	Public Works	
12. Street (trench) cuts into existing streets require a separate encroachment permit and the payment of	On-Going	Public Works	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
street cut fees. Where multiple street cuts into the same street occur, a single, final surface (pavement) trench repair over all the trench cuts is required. Pavement grinding is required for the full length and width of the trenches.			
13. Laguna Business Park covenants, conditions, restrictions and easements recorded June 22, 1987 in Book 8706-22 page 451 is rescinded for APN 116-0310-021, 022, 023 and 024. Any subsequent amendments to this agreement shall also be rescinded.		Planning	
14. Prior to issuance of any sign permits, a comprehensive sign program shall be prepared and approved by the Planning Commission. This sign program may include deviations from Article 3 of the sign code that are consistent with the scale and type of development.	Prior to Sign Permits	Planning	
15. The applicant shall develop trellis features and shade structures for the site. These features are intended for pedestrian walkways and plazas. This will be developed prior to the first building occupancy.	Prior to Occupancy	Planning	
Rezone			
16. Prior to the City Council approval of the rezone, pay the Laguna Community Facilities District the rezone avoidance tax to the County of Sacramento, estimated at \$6,596.00.	Rezone	Finance	
Construction Activities /Improvement Plans			
17. Comply with, record, and pay fees for the Mitigation Monitoring and Reporting Program (MMRP) associated with (20 acres). Until the MMRP has been recorded and the estimated MMRP fee of \$500.00 has been paid, no final parcel map for the subject property shall be approved and no grading, building, sewer connection, water connection, or occupancy permit from the City or County will be approved. (Planning)	Prior to Issuance of Grading Permit	Planning	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
<p>18. The following air pollution control measures shall be incorporated into the project specifications and administered during construction:</p> <p>All active portions of the construction site, earthen access roads, and material excavated or graded shall be sufficiently watered to prevent excessive amounts of dust. Watering shall occur at least twice a day with complete coverage, preferably in the late morning and after work is done for the day. Where feasible, reclaimed water shall be used.</p> <ul style="list-style-type: none"> • All clearing, grading, earth moving, or excavation activities shall cease during periods of winds greater than 20 miles per hour averaged over one hour. • All material transported off site shall be either sufficiently watered or securely covered to prevent excessive amounts of dust. • The area disturbed by clearing, earth moving, or excavation activities shall be minimized at all times. This can be accomplished by mowing instead of disking for weed control and seeding and watering inactive portions of the construction site until grass is evident. • Construction site vehicle speeds shall be limited to 15 miles per hour. • If used, petroleum-based dust palliatives shall meet the road oil requirements of the SMAQMD rule regarding Cutback Asphalt Paving Materials. • Streets adjacent to the project site shall be swept as needed to remove silt that may have accumulated from construction activities. The streets are required 	<p>Note on Construction and Improvement Plans</p>	<p>Planning</p>	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
<p>to be wet prior to or in conjunction with rotary sweeping.</p> <ul style="list-style-type: none"> • All internal combustion engine driven equipment shall be properly maintained and well tuned according to the manufacturer's specifications. • During the smog season (May through October) the construction period shall be lengthened to minimize the number of vehicles and equipment operation at the same time. • When available, diesel powered or electric equipment shall be used in lieu of gasoline-powered engines. • Construction activities shall minimize obstruction of through-traffic lanes adjacent to the site. 			
<p>19. Reducing NO_x emissions from off-road diesel powered equipment.</p> <ul style="list-style-type: none"> • The contractor shall provide a plan for approval by the City of Elk Grove, Public Works Department demonstrating that the heavy-duty (> 50 horsepower) off-road vehicles to be used in the construction project, including owned, leased and subcontractor vehicles, will achieve a project wide fleet-average 20 percent NO_x reduction and 45 percent particulate reduction compared to the most recent CARB fleet average at time of construction; and • The contractor shall submit to the City of Elk Grove Public Works Department a comprehensive inventory of all off-road construction equipment, equal to or greater than 50 horsepower, that will be used an 	<p>Note on Construction and Improvement Plans</p>	<p>Planning</p>	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
<p>aggregate of 40 or more hours during any portion of the construction project. The inventory shall include the horsepower rating, engine production year, and projected hours of use or fuel throughput for each piece of equipment. The inventory shall be updated and submitted monthly throughout the duration of the project, except that an inventory shall not be required for any 30-day period in which no construction activity occurs. At least 48 hours prior to the use of subject heavy-duty off-road equipment, the project representative shall provide the City with the anticipated construction timeline including start date and name and phone number of the project manager and on-site foreman.</p>			
<p>20. Controlling visible emissions from off-road diesel powered equipment.</p> <p>The contractor shall ensure that emissions from all off-road diesel powered equipment used on the project site do not exceed 40 percent opacity¹ for more than three minutes in any one hour. Any equipment found to exceed 40 percent opacity shall be repaired immediately, and the City of Elk Grove shall be notified within 48 hours of identification of non-compliant equipment. A visual survey of all in-operation equipment shall be made at least weekly, and a monthly summary of the visual survey results shall be submitted throughout the duration of the project, except that the monthly summary shall not be required for any 30-day period in which no</p>	<p>Note on Construction and Improvement Plans</p>	<p>Planning</p>	

¹ Opacity is the amount of light obscured by particle pollution in the atmosphere. Opacity is used as an indicator of changes in performance of particulate control systems. Source: California Air Resources Board. *Glossary of Air Quality Terms*. Updated May 13, 2003.

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
<p>construction activity occurs. The monthly summary shall include the quantity and type of vehicles surveyed as well as the dates of each survey. The City may conduct periodic site inspections to determine compliance. Nothing in this section shall supersede other SMAQMD or State rules or regulations.</p>			
<p>21. Prior to improvement plans and AQ-15 and Transportation Systems Management Plan will be developed for the project.</p>	<p>Improvement Plans</p>	<p>Planning</p>	
<p>22. In order to mitigate for the loss of Swainson's hawk foraging habitat, the applicant shall implement one of the following City of Elk Grove's approved mitigation alternatives:</p> <p>Prior to approval or recordation of final maps; issuance of building and/or grading permits; approval of improvement plans, including offsite improvements, the project applicant shall provide Development Services-Planning written verification that <u>one</u> of following mitigation measures has been implemented:</p> <ul style="list-style-type: none"> • Preserve 1.0 acre of similar habitat for each acre lost. This land shall be protected through a fee title or conservation easement acceptable to the CDFG and the City of Elk Grove as set forth in Chapter 16.130.040(a) of the City of Elk Grove Municipal Code as such may be amended from time to time and to the extent that said Chapter remains in effect, OR • Submit payment of Swainson's hawk impact mitigation fee per acre of habitat impacted (payment shall be at a 1:1 ratio) to the City of Elk Grove in the amount set forth in Chapter 16.130 of the City of Elk Grove Code as such may be 	<p>Prior to Improvement plans or Final Map</p>	<p>Planning</p>	

	<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
	amended from time to time and to the extent that said chapter remains in effect.			
23.	Prior to any subsequent construction activities in the plan area, a Swainson's hawk nest survey shall be conducted within 30 days of construction activities for a ½-mile radius. If active Swainson's hawks nests are found within ½-mile of a construction site, the applicant shall consult with the Department of Fish and Game and a qualified biologist shall be retained by the City and funded by the project applicant and clearing and construction shall be postponed or halted until additional nesting attempts no longer occur.	Prior to Improvement plans or Final Map	Planning	
24.	File a notice of Intent and prepare a SWPPP. SWPPP improvements shall be in place prior to moving equipment, material and personnel on-site for grading activities.	Prior to issuance of the Grading Permit	Public Works	
25.	Display the ability of fire trucks to circulate on all driveways especially the driveways with islands. Aisle widths shall be increased with no reduction in islands to accommodate fire trucks where necessary.	The first of Grading or Improvement Plans	Public Works	
26.	All rolled curbs on Laguna Springs Drive will be replaced with vertical curbs. West Stockton already has vertical curb.	Improvement Plan	Public Works	
27.	The dimension of the compact parking spaces shall be 9' by 16'.	Improvement Plan	Public Works	
28.	All driveways and at the intersections shall conform to the visibility easement requirement in the City of Elk Grove Improvement Standard.	Improvement Plans	Public Works	
29.	All driveways throat depth shall be at least 60 feet, clear of parking spaces, measured from the back of sidewalk. (With the exception of the westerly entrance on West Stockton which shall be a minimum of 40')	Improvement Plans	Public Works	
30.	All driveways must be designed and constructed to	Improvement Plans	Public Works	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
the satisfaction of Public Works and to the appropriate section of 4-10 Driveways in the City of Elk Grove Improvement Standards.			
31. The width of the parking stalls for all parking spots that are at a 90° angle to another parking spot shall be increased 2' to an ultimate width of 11'.	Improvement Plans	Public Works	
32. The internal circulation and access shall be subject to the review and approval of Public Works.	Improvement Plans	Public Works	
33. Provide calculation and layout showing drainage areas and the pipe capacity in conformance with the 1996 Hydrology Standards Volume II and City of Elk Grove Improvement Standards. Show the manner in which overland flows are to be conveyed for a point of discharge. Where existing facilities are unable to meet the improved demand of the site, parallel or increased facilities or on-site retention will be required.	Improvement Plans	Public Works	
34. Design and construct the stormwater treatment facilities prior to the drainage entering the public drainage system to the satisfaction of the City's Public Works and provide an agreement for the maintenance of such treatment facility.	Grading Plan approval	Public Works	
35. All finished floor elevations must be a minimum of 1 foot above the 100-yr water surface elevation in the area, calculated with a method acceptable to the City of Elk Grove, Public Works, Drainage. Provide hydraulic calculations as to the manner the 100-year water surface elevation was calculated.	Improvement Plans/Grading/ Building Permit	Public Works	
36. The project shall comply with the City of Elk Grove's Land Grading and Erosion Control Ordinances.	Improvement Plans / Grading Plan	Public Works	
37. Water supply will be provided by the Sacramento County Water Agency.	Improvement Plans	Water Supply	
38. Provide separate public water service to each parcel and/or building.	Improvement Plans	Water Supply	
39. Dedicate maintenance easements in all public and	Improvement Plans	Water Supply	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
private streets over all water lines to the satisfaction of Sacramento County Water Agency prior to Final Map approval.			
40. Require efficient cooling systems, re-circulating pumps for fountains and ponds, and water recycling systems for vehicle washing as a condition of service.	Improvement Plans	Water Supply	
41. Require water intensive commercial and industrial building permit applicants to conduct a water use efficiency review and submit the findings in required environmental documentation for the project.	Improvement Plans	Water Supply	
42. Connection to the District's sewer system shall be required to the satisfaction of CSD-1. Sacramento County Improvement Standards apply to sewer construction.	Improvement Plans	CSD-1	
43. In order to obtain sewer service, construction of CSD-1 sewer infrastructure is expected to be required.	Improvement Plans	CSD-1	
44. CSD-1 sewer facilities may be constructed on-site to accommodate the new parcels. If this option is chosen, construction of on-site CSD-1 sewer facilities shall be to the satisfaction of CSD-1 in order to obtain sewer service.	Improvement Plans	CSD-1	
45. Impact fees for CSD-1 shall be paid prior to issuance of Building Permits. On commercial projects, the fee is paid with building permit.	Improvement Plans	CSD-1	
46. Sewer easements will be required. All sewer easements shall be dedicated to CSD-1 in a form approved by the District Engineer. All sewer easements shall be 20 feet in width and ensure continuous access for installation and maintenance.	Improvement Plans	CSD-1	
47. Each parcel or building shall have a separate connection to the public sewer system.	Improvement Plans	CSD-1	
48. A landscape plan will be reviewed and approved By the City prior to building permit approval. This landscape plan may be phased.	Improvement Plans/Landscape Plans	Planning	

	<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
49.	Pay Park and Recreation Review Fees as required by the EGCS D.	Improvement Plans	CSD Parks (Dev. Services)	
50.	Landscape corridors shall be constructed and installed in accordance with plans and specifications approved by the EGCS D and shall be consistent with the EGCS D "General Guidelines for Landscape Corridor Design" and other EGCS D projects in close vicinity to the area.	Improvement Plans	CSD Parks (Dev. Services)	
51.	When improvements to the landscape corridors are complete, an easement shall be conveyed to the EGCS D for ongoing maintenance, operation, repair and replacement. Applicant shall be responsible to pay the direct cost associated with the performance of this work until such time as the EGCS D incorporates the cost of doing this work into the assessment district budget and the resulting assessments are confirmed by compliance with the balloting procedures dedicated by Proposition 218. (The applicant shall have the option to maintain the landscaping and not provide an easement.)	Improvement Plans	CSD Parks (Dev. Services)	
52.	The timing of landscape plans should be processed concurrently with the improvement plans. Coordination of this will be handled by the plan checker reviewing the project. Phasing of the landscaping shall be coordinated with the applicant. All the landscaping along Laguna Springs shall be installed with the first phase.	Improvement Plans	Dev. Services	
	Final Map			
53.	Dedicate Laguna Spring Drive, east half section of 36' from the approved centerline. Improvement will be based on 84' equivalent arterial in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works. Dedicate a 25' landscape corridor from the back of curb. The street	Final Map	Public Works	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
section includes two 33' pavement, 3' curb and gutter and 6' separated sidewalk within the 25' landscape corridor.			
54. Dedicate West Stockton Blvd based on modified 56' collector in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works. A minimum of 26' of pavement must be constructed excluding gutter pan. The street section includes two 21' pavement, 3' curb and gutter and 4' sidewalk.	Final map	Public Works	
55. Dedicate at the intersection of West Stockton Blvd and Laguna Spring Drive, based upon an expanded intersection, in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Final Map	Public Works	
56. All improvements shall be dedicated in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Final Map	Public Works	
57. All improvements shall be designed in accordance with the City of Elk Grove Improvement Standards, as further conditioned herein, and to the satisfaction of Public Works.	Final Map	Public Works	
58. Dedicate a 12.5 foot public utility easement for underground and or overhead facilities and appurtenances adjacent to all public and private streets where not existing.	Final Map	Public Works	
59. Record a maintenance agreement involving all the parcels of the subject map assuring timely maintenance of all internal streets and drives. Agreement shall be to the satisfaction of Public Works.	Final Map	Public Works	
60. Provide reciprocal access easement agreement between the parcels of this development. The location of the access point(s) must be to Public Works satisfaction and will be approved when these parcels	Final Map	Public Works	

	<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
	are developed.			
61.	The sewer line and easement shall be located in the travel ways.	Final Map	CSD-1	
62.	CSD-1 requires their sewers to be located 10 feet from other parallel utilities (water, drain, electrical, etc.). Prior to the recording of the Final Map, the applicant shall prepare a utility plan that will demonstrate that the condition is met.	Final Map	CSD-1	
	Building Permits			
63.	All buildings 3 or more stories in height shall be provided with a 2 ½ inch standpipe system for fire department operations.	Building Permit	EGCSD Fire	
64.	At all street intersections, public or private, within one block of the proposed project, applicant shall install and/or replace street name signs in accordance with the City of Elk Grove Standard Details.	Building Permit	Public Works	
65.	If the proposed site plan varies from the existing approved on-site improvement drawings, a separate set of improvement drawings, or revisions to the existing drawings, must be submitted and approved.	Building Permit	Public Works	
66.	All improvements shall be installed in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Prior to 1 st Building Permit	Public Works	
67.	Improve Laguna Spring Drive, east half section of 36' from the approved centerline. Improvement will be based on 84' equivalent arterial in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works. The street section includes two 33' pavement, 3' curb and gutter and 6' separated sidewalk within the 25' landscape corridor. Raised median islands shall be constructed where required to limit left turn access in or out of the project. Striping shall be designed to provide 4-lanes from Laguna Blvd to a minimum 300-feet south of W.	Prior to Occupancy	Public Works	

<u>Conditions of Approval / Mitigation Measure</u>	<u>Timing/ Implementation</u>	<u>Enforcement/ Monitoring</u>	<u>Verification (date and Signature)</u>
Stockton Blvd.			
68. Improve West Stockton Blvd based on modified 56' collector in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works. A minimum of 26' of pavement must be constructed excluding gutter pan. The street section includes two 21' pavement, 3' curb and gutter and 4' sidewalk. Raised median islands shall be constructed where required to limit left turn access in or out of the project.	Prior to Occupancy	Public Works	
69. Improve the intersection of West Stockton Blvd and Laguna Spring Drive, based upon an expanded intersection, in accordance with the City of Elk Grove Improvement Standards and to the satisfaction of Public Works.	Prior to Occupancy	Public Works	
70. Any improvements, public or private, damaged in construction shall be replaced in-kind or with new improvements.	Prior to Occupancy	Public Works	
71. The southern most driveway and drive aisle on Laguna Springs Drive shall be aligned with the future street intersection shown on the proposed development west of Laguna Springs Drive and as further shown per the alignment provided by the City and attached to those conditions.	Improvement Plans	Public Works	

General Compliance Items for Building Permit

1. Prior to issuance of building permits, the project developer/owner shall pay Zone 40 development fees applicable at the time of building permit issuance in accordance with Sacramento County Water Agency Ordinance No. 18. (Water Supply)
2. Prior to issuance of building permits, the project shall conform to the specific provisions of the Sacramento County Landscape Water Conservation Ordinance (Chapter 14.10 of the Sacramento County Code) to the satisfaction of the County Landscape/Oak Tree Coordinator. (Water Supply)
3. Secure approval of a civil engineered site improvement plan for all proposed on-site and off-site improvements.
4. Permits and/or fees are required for the following reviews: civil plans, architectural plans, fire sprinkler plans and fire alarm plans. Additional permits and fees may apply depending upon the scope of the project.
7. Dead-end streets in excess of 150 feet require emergency vehicle turn-a-rounds.
8. Any and all gates impeding fire lanes or roadways shall comply with Appendix VII of the 2002 Sacramento County Fire Code.
9. If homes exceeding 3,600 square feet (including garages and covered porches) will be built in this subdivision, additional fire flow analysis of the water system must be conducted. Single family dwellings 3,601 square feet to 4,800 square feet require 1,750 gpm and homes 4,801 square feet to 6,200 square feet require 2,000 gpm.
10. An approved automatic fire sprinkler system shall be installed within all new R-3 occupancies when the total floor area (area under roof including garages and attached solid roof canopies) exceeds 5,999 square feet and/or the total livable area (area not including garages and attached solid roof canopies) exceeds 4, 999 square feet.
11. As of February 1, 2003, all contractors for single-family homes and duplexes (R-3 Occupancies) shall provide an option for residential fire sprinklers. Prior to the prospective buyer signing a sales contract, the contractor or their agent shall obtain from the Fire Department an informational packet containing educational materials approved by the Fire Department, including a form explaining the option for residential sprinklers. The contractor or their agent shall provide the approved informational packet to any and all prospective buyers and require the execution of a signed receipt for the educational material from the prospective buyer. The contractor shall install residential fire sprinklers upon the request and execution of a purchase agreement by the homebuyer. Fire sprinkler systems for single-family homes and duplexes shall be designed and installed to not less than the minimum requirements contained in NFPA 13D, 1996 edition.
12. All civil engineering plans are required to be submitted in an electronic format. When plan is ready for final signature, it is required that the engineering firm will submit an electronic copy of the complete plan as it appears in the approved printed plans with addresses. All electronic formats will be submitted on Windows/DOS formatted diskettes, zip disks or on compact disk (CD). E-mailed copies will not be accepted at this time. Electronic formats can be submitted in either of the following data transfer formats listed below:

DFX (Drawing Interchange file) release 2002 or previous
DWG (Applies to AUOCAD drawing file) release 2002 or previous

13. Addresses for all lots shall be provided to the Fire Department within sixty (60) days of Fire Department signature of approval for development plans.
14. No more than 40 building permits shall be issued when a single point of access exists for a subdivision. Since there is no process in place for confirming the sequence in which the units are built, the above information should be considered and the Elk Grove CSD Fire Department should be consulted on this matter.
15. All commercial buildings, in excess of 3,599 square feet shall be equipped with an approved automatic fire sprinkler system.
16. Commercial developments in excess of 10,000 square feet require looped fire mains of a minimum of ten- (10) inch diameter to supply fire hydrants spaced at a maximum of 300-foot intervals. This on-site fire main shall be connected to the municipal water main at not less than two (2) points.
17. This development is required to provide fire flow from a public water system capable of delivering at a minimum 50 PSI static pressure and 3,000 GPM at 20 PSI residual pressure in commercial areas and 50 PSI static pressure and 1,000 GPM at 20 PSI residual pressure in residential, single-family home areas. Buildings of certain types of construction, size, and use may need additional fire flow or the application of mitigating efforts to meet fire flows above this minimum.
18. All required roadways, street signs, addresses, water mains, fire hydrants, and fire flows shall be provided prior to the existence of any combustible construction or storage. The slope of access roadways shall not exceed 10% for asphalt and 15 % for concrete. The roadways shall be constructed to a 20-foot minimum width with a minimum of three (3) inches AC over six (6) inches AB with good drainage.
19. Traffic pre-emption devices of a typed approved by the Elk Grove Fire Department, shall be installed on all traffic signal devices erected or modified by this development. These devices shall be installed and functioning prior to any occupancy and at no cost to the Elk Grove Fire Department.
20. Required fire alarm systems (other than single family dwellings) shall be connected to a UL listed central station approved by the Sacramento County Regional Communications Center.
21. Permits and/or fees are required for the following plan reviews: site plan, architectural plan, fire sprinkler plan, fire alarm plan, and special extinguishing plans.
22. The installation of on-site or off-site fire protection equipment including fire hydrants and water mains shall meet the standards of the Elk Grove Fire Department and the water purveyor having jurisdiction.
23. The installation of roadway gates, addresses, landscaping, pipe bollards, fuel tanks, masonry sound walls, tree wells, and/or traffic calming devices are subject to standards outlined by the Elk Grove Fire Department.
24. The wetlands/riparian corridors of creeks create an unusual fire hazard and challenge to emergency responders. The following requirements apply:

- A. Provide non-combustible fences along all developed areas adjacent to wetlands, creeks, or open spaces.
- B. Provide access to all wetland corridors at the end of cul-de-sacs via rolled curbs and gates with pipe bollards. Bike lanes adjacent to creeks shall be a minimum of 10 feet wide with a turning radius of not less than 35 feet inside and 45 feet outside diameters.
- C. Any bridges over creeks or wetland areas shall be capable of supporting 65,000 GVW.
- D. Provide at least ten (10) feet of greenbelt or other defensible space between non-combustible fences and the creek/wetlands area.

**CERTIFICATION
ELK GROVE CITY COUNCIL RESOLUTION NO. 2005-45**

STATE OF CALIFORNIA)
COUNTY OF SACRAMENTO) ss
CITY OF ELK GROVE)

I, Peggy E. Jackson, City Clerk of the City of Elk Grove, California, do hereby certify that the foregoing resolution was duly introduced, approved, and adopted by the City Council of the City of Elk Grove at a regular meeting of said Council held on the 16th day of February 2005 by the following vote:

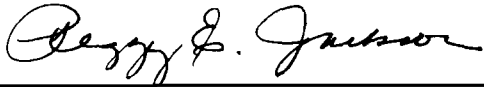
AYES 5: COUNCILMEMBERS: Briggs, Cooper, Leary, Scherman, Soares

NOES 0: COUNCILMEMBERS:

ABSTAIN 0: COUNCILMEMBERS:

ABSENT 0: COUNCILMEMBERS:





**Peggy E. Jackson, City Clerk
City of Elk Grove, California**